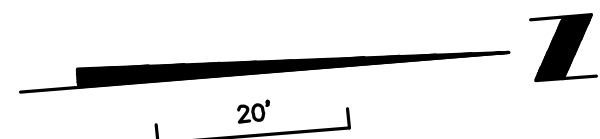
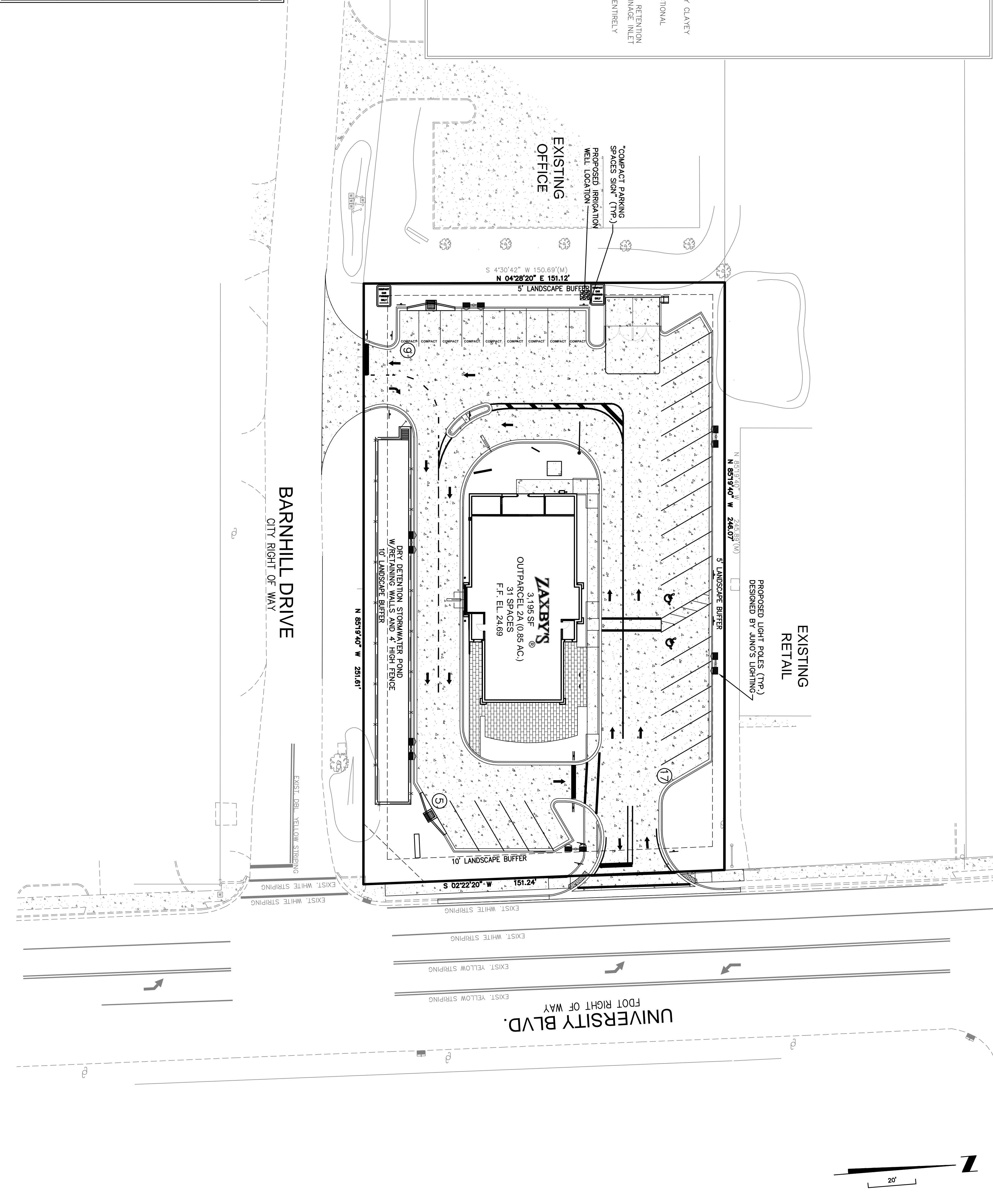


DEVELOPMENT DATA

1. OWNER
MANWELL JAX III, LLC
ATTN: DENNIS ARMSTRONG
1804 PLUM STREET
VALDOSTA, GEORGIA 31601
(904) 400-1750
2. ENGINEER
ENGLAND-THIMS & MILLER, INC.
14775 OLD ST. AUGUSTINE ROAD
JACKSONVILLE, FLORIDA 32258
(904) 265-3192
3. SURVEYOR
LANDMARK SURVEYORS, INC.
4830 ROSSELLE STREET
JACKSONVILLE, FLORIDA 32254
(904) 384-7855
4. NAME OF DEVELOPMENT
ZAXBY'S UNIVERSITY BLVD. & BARNHILL DRIVE
5. ZONING
CCO-1
6. SITE DESCRIPTION
A. VEGETATION: THE SITE IS CLEARED.
B. SOILS: LIMEROCK, BROWN FINE SAND AND SILTY CLAYEY FINE SAND.
C. JURISDICTIONAL LAND: THERE ARE NO JURISDICTIONAL WETLANDS WITHIN THE PROPERTY.
D. DRAINAGE: SITE WILL DISCHARGE TO PROPOSED RETENTION POND AND THEN WILL OUTFALL INTO CITY DRAINAGE INLET WITHIN FLOOD ZONE "X".
7. PROPOSED DEVELOPMENT
A. TOTAL ACRES OF PROJECT: 0.854 ACRE
B. NUMBER OF BUILDINGS PROPOSED: 1
C. BUILDING HEIGHT: 35 FEET MAXIMUM
D. TYPE OF CONSTRUCTION: CONCRETE BLOCK
E. TOTAL NUMBER OF UNITS: N/A
F. DENSITY: N/A
8. UTILITY SERVICE
TYPE OF SERVICE NAME OF UTILITY
A. SEWAGE TREATMENT JEA
B. WATER SUPPLY JEA
C. ELECTRICITY JEA

PARKING REQUIREMENTS

OFF STREET PARKING REQUIREMENTS:	
1. MIN. REQUIRED = 1 SPACE/4 SEATS PLUS ONE SPACE FOR EACH TWO EMPLOYEES. 100 SEATS/4 = 25 SPACES PLUS 1/2 EMPLOYEES/2 = 6 SPACES 7 23 SPACES	
2. PROVIDED = 31 SPACES INCLUDING 2 HANDICAP SPACES	
HANDICAPPED PARKING REQUIREMENTS:	
1. PER FLORIDA STATUTE 316.1955 & 316.1956	
2. PER A.D.A.A.G. s.41.2 (5)	
TOTAL PARKING	REQUIRED HANDICAP SPACES
1 - 25	2
26 - 50	3
51 - 75	4
76 - 100	
PARKING REQUIRED = 2 SPACES	PARKING PROVIDED = 2 SPACES
COMPACT PARKING SPACE REQUIREMENTS:	
MAXIMUM COMPACT SPACES = 30%	
31 X 0.30 = 9 SPACES MAX	
9 COMPACT SPACES PROVIDED	
BICYCLE PARKING REQUIREMENTS:	
10% OF THE REQUIRED OFF STREET PARKING (PER CODE)	
31 OFF STREET PARKING SPACES REQUIRED x 10% = 4	
PARKING REQUIRED = 4 SPACES	PARKING PROVIDED = 4 SPACES



<p>4</p> <p>DRAWING NUMBER</p>	<p>MASTER SITE PLAN</p> <p>ZAXBY'S</p> <p>UNIVERSITY BLVD. AND BARNHILL DRIVE</p> <p>JACKSONVILLE, FLORIDA</p>	<p>England-Thims & Miller, Inc. 14775 Old St. Augustine Road Jacksonville, FL 32258 TEL: (904) 642-8990 FAX: (904) 646-9485 CA - 00002584 LC - 0000316</p>	<p>ETM NO. 10-074-03</p> <p>DRAWN BY: RAH</p> <p>DESIGNED BY: LJP</p> <p>CHECKED BY: PMA</p> <p>DATE: NOV. 7, 2011</p>	<p>REVISIONS: 4-2-12 REV. PER CITY, FDOT & PAC REVIEW.</p>	<p>PLANS PREPARED UNDER THE DIRECTION OF:</p> <p>K. T. PETER MA, P.E. P.E. NUMBER: 46661</p>
	<p>PLOTTED: April 5, 2012 - 4:48 PM, BY: Lionel Perez</p>				

- ### GENERAL NOTES
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BUILD PER ALL APPLICABLE CODES AND REGULATIONS: FEDERAL, STATE, AND LOCAL.
 2. ALL CONTRACTORS INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL SHALL BE RESPONSIBLE FOR SECURING PERMITS FOR THEIR WORK & TRADE UTILITY. FLUOR DRAYMINGS (IF REQUIRED) FOR PERMITS AND UTILITY HOOK- UPS SHALL ALSO BE BY THE SUBCONTRACTOR.
 3. ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR WILL MAKE ASSUMPTIONS AT HIS OWN EXPENSE.
 4. THE GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER NFPA 10 (OR LOCAL AUTHORITY). FIRE EXTINGUISHERS SHALL BE MOUNTED, TOP = 48" AFF.
 5. THIS STATEMENT SHALL NOT GOVERN OVER MANUFACTURERS' WARRANTIES. THE GENERAL CONTRACTOR SHALL WARRANT HIS WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY & ACCEPTANCE OF WORK BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORKMANSHIP OF THE WORK BY THE OWNER AND ALSO DURING THE WARRANTY PERIOD. MAY BE REJECTED REGARDLESS OF PREVIOUS INSPECTION. CORRECTIVE MEASURES WHEN REQUIRED SHALL BE EXECUTED AT NO ADDITIONAL COST TO THE OWNER.
 6. ALL MATERIALS RELATED TO THIS WORK SHALL BE: SHIPPED, STORED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
 7. THE G.C. WILL LEAVE THIS SITE FREE AND CLEAR OF DEBRIS UPON COMPLETION OF THE WORK.
 8. WHERE THESE DOCUMENTS INDICATE TRADE OR MANUFACTURER NAMES, THE CONTRACTOR MAY SUBSTITUTE A PRODUCT OR METHOD OF BETTER OR EQUAL QUALITY UPON APPROVAL BY THE OWNER AND LADY'S FRANCHISING.
 9. FROM OWNER: PROVIDE BUILDING & ACCEPTANCE BY THE OWNER THE FOLLOWING: EQUIPMENT PREPARE, ASSEMBLY AND TRANSPORT TO THE OWNER THE FOLLOWING: MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT. WARRANTIES FOR ALL EQUIPMENT FOR A MINIMUM OF ONE YEAR FROM THE ACCEPTANCE DATE. KEYS WITH SCHEDULE AND DEMONSTRATE THE EQUIPMENT.
 10. TERMINATE PROTECTION SHALL BE PROVIDED UNDER THE FLOOR SLAB INSTALLATION AND WARRANTY SHALL BE PER THE INTERNATIONAL BUILDING CODE.

- ### MUNICIPAL REQUIREMENTS
1. THE GENERAL CONTRACTOR SHALL SUBMIT TO BUILDING INSPECTIONS, SOIL COMPACTION DATA PRIOR TO THE START OF CONSTRUCTION.
 2. MANUFACTURER SHALL BE SUBMITTED TO THE BUILDING INSPECTORS. THE DATA PROVIDED SHOULD BE SEALED AND SIGNED BY A GEORGIA PROFESSIONAL ENGINEER. THE PLANS SHOULD INCLUDE DEAD LOAD, LIVE LOAD, WIND LOAD, AND COLLATERAL LOADING FOR ALL COMPONENT SECTIONS EXHAUST HOODS AND FIRE SUPPRESSION SYSTEMS ARE TO BE APPROVED BY THE APPROPRIATE AUTHORITIES (FIRE MARSHAL, ETC.). IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN APPROVALS.

- ### ADDITIONAL OWNER NOTES
1. G.C. AND KITCHEN EQUIPMENT VENDORS: SHOP DRAWINGS ARE TO BE PROVIDED AND TO INCLUDE DIMENSIONS, LOCATION OF OUTLETS AND SIZE (AMPS).
 2. CONSULTS TO BE LABELED UPON INSTALLATION TO PREVENT G.C. TO PROVIDE CONSTRUCTION REVIEW OF PLANS WITH ARCHITECT & OWNER PRIOR TO COMMENCEMENT. ANY CONFLICTS THAT WILL CREATE A CHANGE ORDER WILL BE BASED ON A COST PLUS 10% AND OWNER MAY REQUEST 3 ESTIMATES IF NECESSARY.
 3. NO PENETRATIONS IN ERS UNLESS AUTHORIZED BY OWNER FIRST.
 4. THIS INCLUDES G.C., VENDORS AND/OR SUPPLIERS.
 5. ALLOWANCE FROM G.C. TO REKEY ALL LOCKS UPON COMPLETION.
 6. CLEANING A MINIMUM OF 3 TIMES PRIOR TO CO.

- ### KITCHEN EQUIPMENT IS FOR REFERENCE ONLY.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING KITCHEN EQUIPMENT. DESIGN AND INSTALLATION WITH A KITCHEN AND GENERAL CONTRACTOR AND ANY CHANGES OR DISCREPANCIES MUST BE DISCUSSED WITH ARCHITECT FOR DOCUMENT UPDATES.

- ### LEGEND:
- FULL HEIGHT WALL
 - COOLER WALL
 - MESH WALL
 - ||||| BRICK VENEER
 - ||||| CHIL WALL
 - DOOR NUMBER
 - GAINING LETTER
 - FE - FIRE EXTINGUISHER
 - FC - CLASS A
 - ROOM NUMBER

- ### GENERAL NOTES
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BUILD PER ALL APPLICABLE CODES AND REGULATIONS: FEDERAL, STATE, AND LOCAL.
 2. ALL CONTRACTORS INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL SHALL BE RESPONSIBLE FOR SECURING PERMITS FOR THEIR WORK & TRADE UTILITY. FLUOR DRAYMINGS (IF REQUIRED) FOR PERMITS AND UTILITY HOOK- UPS SHALL ALSO BE BY THE SUBCONTRACTOR.
 3. ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE CONTRACTOR WILL MAKE ASSUMPTIONS AT HIS OWN EXPENSE.
 4. THE GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS PER NFPA 10 (OR LOCAL AUTHORITY). FIRE EXTINGUISHERS SHALL BE MOUNTED, TOP = 48" AFF.
 5. THIS STATEMENT SHALL NOT GOVERN OVER MANUFACTURERS' WARRANTIES. THE GENERAL CONTRACTOR SHALL WARRANT HIS WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY & ACCEPTANCE OF WORK BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORKMANSHIP OF THE WORK BY THE OWNER AND ALSO DURING THE WARRANTY PERIOD. MAY BE REJECTED REGARDLESS OF PREVIOUS INSPECTION. CORRECTIVE MEASURES WHEN REQUIRED SHALL BE EXECUTED AT NO ADDITIONAL COST TO THE OWNER.
 6. ALL MATERIALS RELATED TO THIS WORK SHALL BE: SHIPPED, STORED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
 7. THE G.C. WILL LEAVE THIS SITE FREE AND CLEAR OF DEBRIS UPON COMPLETION OF THE WORK.
 8. WHERE THESE DOCUMENTS INDICATE TRADE OR MANUFACTURER NAMES, THE CONTRACTOR MAY SUBSTITUTE A PRODUCT OR METHOD OF BETTER OR EQUAL QUALITY UPON APPROVAL BY THE OWNER AND LADY'S FRANCHISING.
 9. FROM OWNER: PROVIDE BUILDING & ACCEPTANCE BY THE OWNER THE FOLLOWING: EQUIPMENT PREPARE, ASSEMBLY AND TRANSPORT TO THE OWNER THE FOLLOWING: MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT. WARRANTIES FOR ALL EQUIPMENT FOR A MINIMUM OF ONE YEAR FROM THE ACCEPTANCE DATE. KEYS WITH SCHEDULE AND DEMONSTRATE THE EQUIPMENT.
 10. TERMINATE PROTECTION SHALL BE PROVIDED UNDER THE FLOOR SLAB INSTALLATION AND WARRANTY SHALL BE PER THE INTERNATIONAL BUILDING CODE.

ZAXBY'S
 4210 UNIVERSITY BLVD., SOUTH
 JACKSONVILLE, FL 32207

PROJECT NAME & ADDRESS

RELEASED FOR CONSTRUCTION

ISSUES/REVISIONS

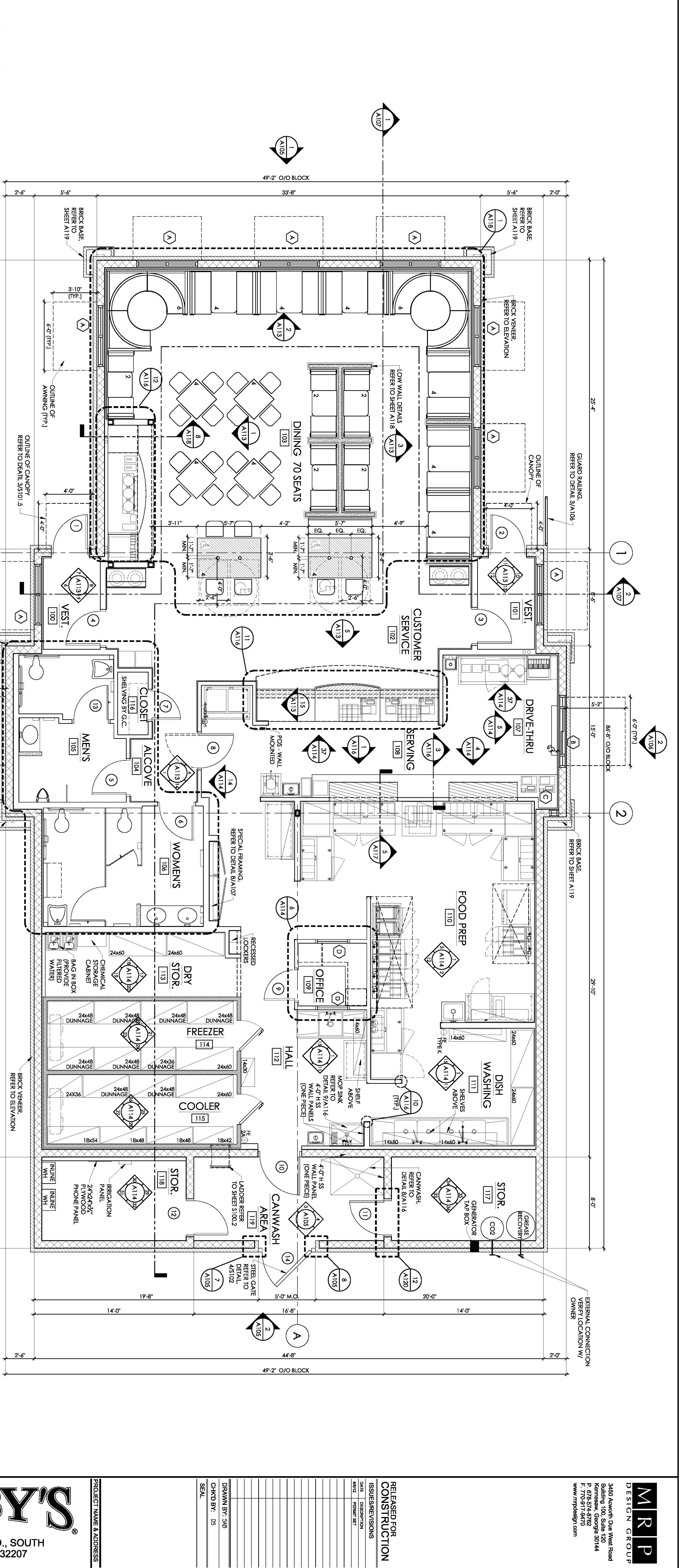
DATE	DESCRIPTION	BY	CHKD BY
04/02	PERMIT SET		

DRAWN BY: 546
 CHKD BY: 05
 SEAL

SHEET TITLE: FLOOR PLAN

PROJECT NO: 11075

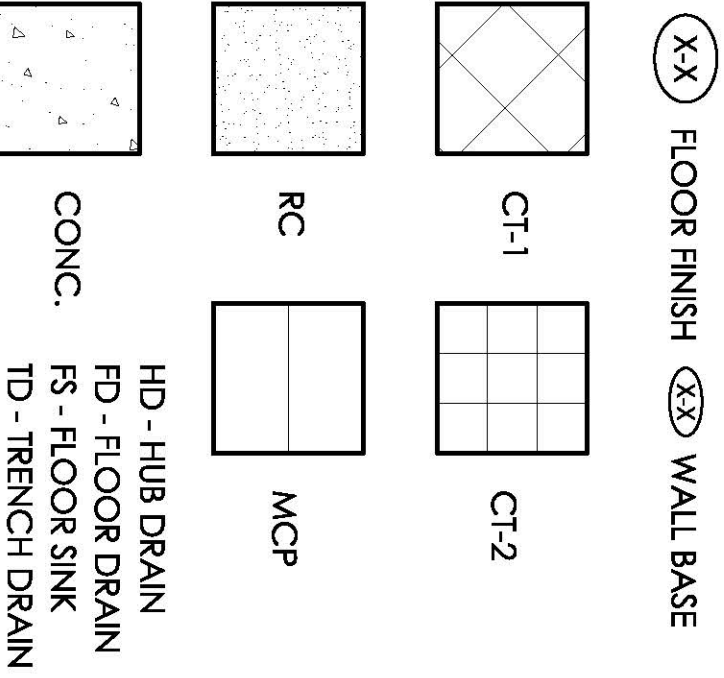
A100



MRP DESIGN GROUP

3480 Acworth Drive West Road
 Building 100, Suite 30144
 Jacksonville, FL 32217
 P. 678-574-5782
 F. 770-917-5470
 www.mrpdesign.com

LEGEND



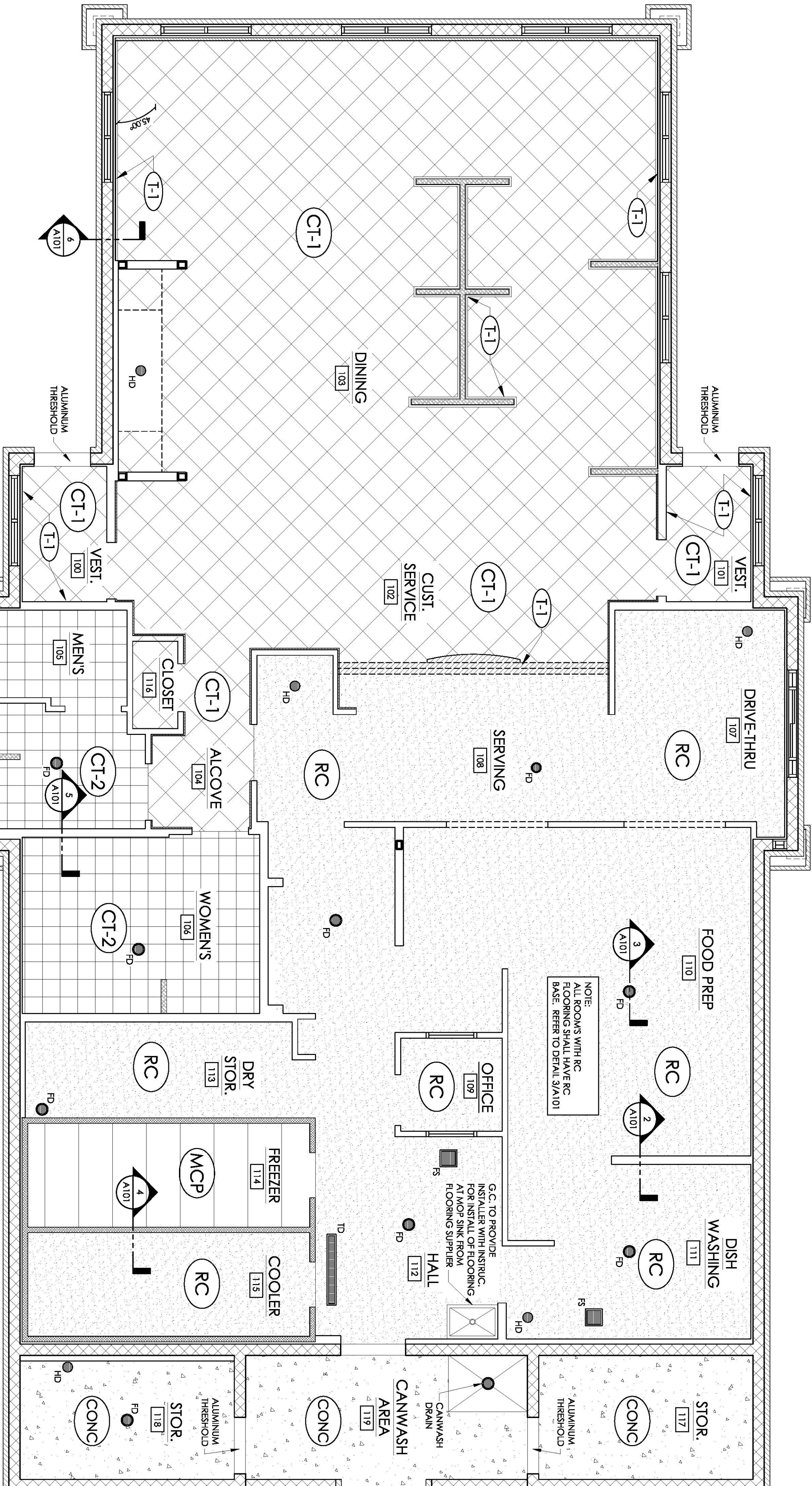
NOTE:
CONTRACTOR TO PROVIDE SMOOTH
TOUPEL CONCRETE FINISH THEREAFTER
RUBBER FLOORING WILL BE INSTALLED.

ROOM FINISH SCHEDULE - CORPORATE INTERIOR

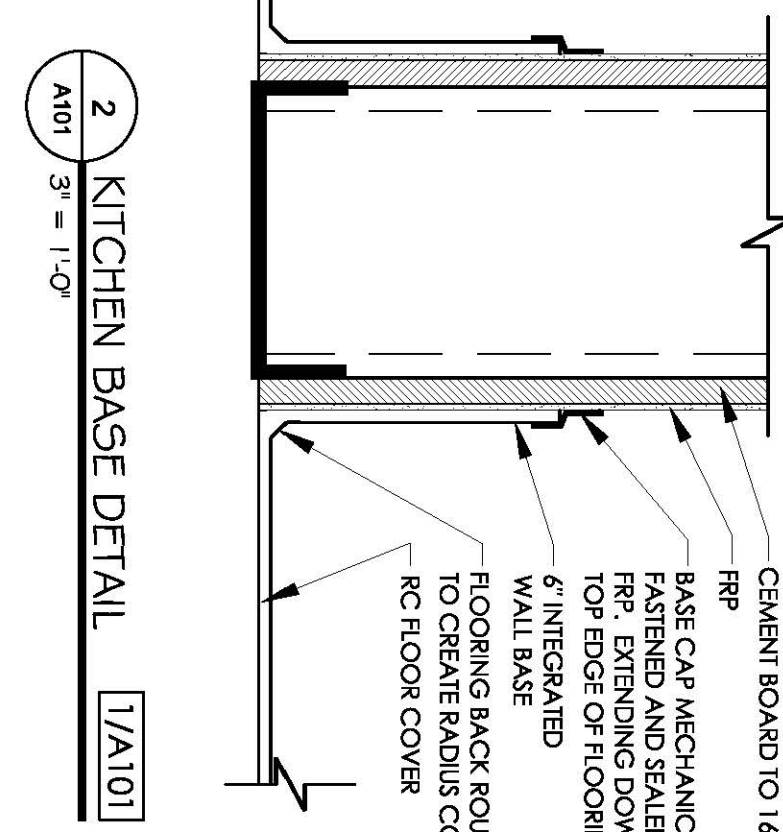
ROOM	NO.	FLOOR	BASE	WALL	WASCOT HEIGHT	CEILING HEIGHT	REMARKS
VERANDA	100/01	CT-1	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
CHANGING SERVICE	102	CT-1	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
DINING	108	CT-1	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
ALCOVE	104	CT-1	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
MEN	105	CT-2	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
WOMEN	106	CT-2	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 1/13 FOR MIRROR ELEVATION
DRIVE THRU	107	RC	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
SERVERY	108	RC	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
FOOD PREP	110	RC	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
DISHWASHING	112	RC	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
DRY STORAGE	113	RC	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
FREEZER	114	MCP	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
COOLER	115	MCP	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
STORAGE CLOSET	116	CT-1	F1	SEEN ELEV.	R	8'-0"	REFER TO DETAIL 3/10 FOR MIRROR ELEVATION
APPROXIMATE TOTAL	117/18	CONC.	F1	SEEN ELEV.	R	8'-0"	PAINT ALL EXPOSED MATERIALS ACRYL 1107 P25
							PLYWOOD WALLS & GROUDED STRUCTURE. PAINT P1

FINISH LEGEND

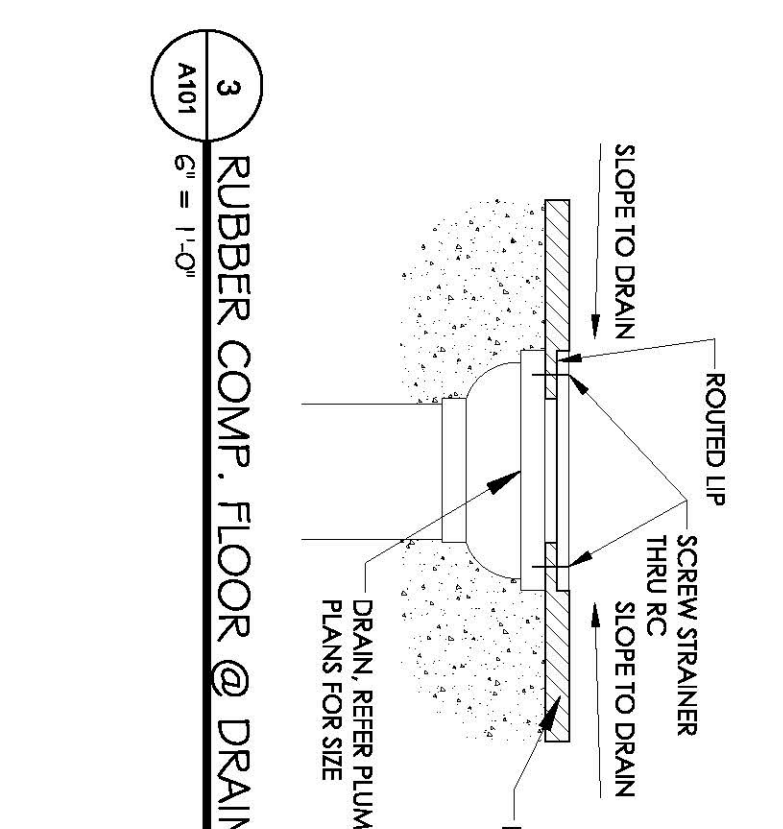
MARK	SURFACE	MANUFACTURER	COLOR	DESCRIPTION
FLOORING				
CT-1	CERAMIC TILE	CREATIVE MATERIAL CORP.	TILE CANYON	18" X 18" - GROUT COLOR: TAYLOR WAINWRIGHT 4
CT-2	CERAMIC TILE	CREATIVE MATERIAL CORP.	TILE CANYON	12" X 12" - GROUT COLOR: TAYLOR WAINWRIGHT 4
RC	RUBBER COMPOSITION	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
MCP	METAL COOLER PANEL	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
CONC.	SPALD CONCRETE	VERAL OR EQUAL	CLEAR	INDUSTRIAL GRADE 11705 (TYPICAL) FINISH TO CONCRETE (SEE DETAIL 3/10 FOR MIRROR ELEVATION)
WALL BASE				
F1	BASE CAP (18" OVER CRAWLER TILE BASE FC1)	DOVER WAINWRIGHT 2	STAIN THEN COAT W/ CLEAR GLOSS POLYURETHANE	STAIN THEN COAT W/ CLEAR GLOSS POLYURETHANE
RC	RUBBER COMPOSITION	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
MCP	METAL COOLER PANEL	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
PAINT				
P-1	CEILING	SHERWIN WILLIAMS	ZANBY'S FEAL	ANTIQUE WHITE ECO-CHEIL FINISH, 2 COATS MINIMUM. PRIMER: PERMIT 200
P-2	WALL	SHERWIN WILLIAMS	SV 6214	TROCHILIGHT, SEMI-GLOSS FINISH, 2 COATS MINIMUM. PRIMER: USG SHEETROCK HST COAT READY MIX
P-3	WALL	SHERWIN WILLIAMS	SV 6288	TROCON BLACK, SEMI-GLOSS FINISH, 2 COATS MINIMUM
P-4	WALL	SHERWIN WILLIAMS	SV 6663	LUSTY RED, SEMI-GLOSS FINISH, 2 COATS MINIMUM
WALL FINISHES				
FP	FIBERGLASS REINFORCED PLASTER	MAARTE	F-118	NATURE'S BLENDED COLORED CONCRETE IN 1/2" THICK COARSE SAND MIXTURE WITH 1/4" FIBERGLASS REINFORCING. COLORED CONCRETE TO MATCH DETAIL 1/10. COLORED CONCRETE TO MATCH DETAIL 1/10.
PL	FLYING PLASTER	WILSON ART	NO. 416-49	PAINT SEMI-GLOSS BLACK (P-4)
BP	BROUDED COMPOSITION	WILSON ART	NO. 416-49	PAINT SEMI-GLOSS BLACK (P-4)
CT-1	CERAMIC TILE	CREATIVE MATERIAL CORP.	TILE CANYON	18" X 18" - GROUT COLOR: TAYLOR WAINWRIGHT 4
CT-2	CERAMIC TILE	CREATIVE MATERIAL CORP.	TILE CANYON	12" X 12" - GROUT COLOR: TAYLOR WAINWRIGHT 4
MCP	METAL COOLER PANEL	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
CONC.	SPALD CONCRETE	VERAL OR EQUAL	CLEAR	INDUSTRIAL GRADE 11705 (TYPICAL) FINISH TO CONCRETE (SEE DETAIL 3/10 FOR MIRROR ELEVATION)
THIN SETTING BEDDING				
F1	BASE CAP (18" OVER CRAWLER TILE BASE FC1)	DOVER WAINWRIGHT 2	STAIN THEN COAT W/ CLEAR GLOSS POLYURETHANE	STAIN THEN COAT W/ CLEAR GLOSS POLYURETHANE
RC	RUBBER COMPOSITION	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
MCP	METAL COOLER PANEL	ECO-CHEP	DARK GREY	50 MILS - 20 MILS SHEET GROUTING: SEE DETAIL 3/10 FOR MIRROR ELEVATION
CEILING				
AC-1	CEILING GRID	ARMSTRONG	WHITE	12" X 12"
AC-3	ACoustIC TILE	ARMSTRONG	WHITE	2" X 4" VINYL FACED
GM-1	CEILING	COOLER/REFRIGERATION MANUFACTURER	ZANBY'S FEAL FINISH	5/8" WATER RESISTANT GYM BOARD. PRIMER: PERMIT 200. PAINT: SEMI-GLOSS
COUNTERTOP				
CT	CORIAN	COBAN	TIMBERED	
C-2	CORIAN	COBAN	NIGHT ST	



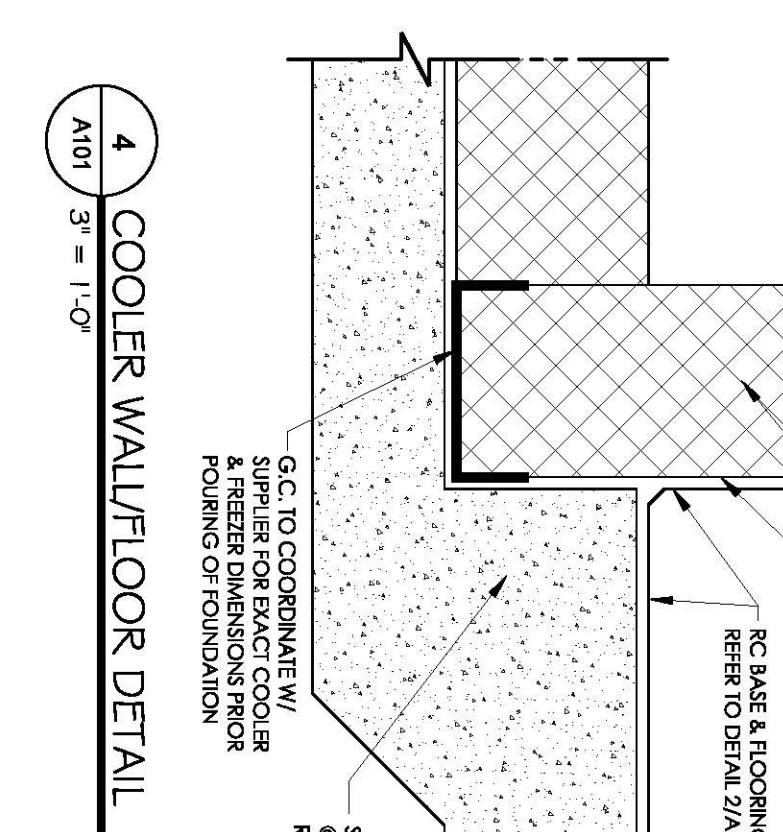
1 FLOOR FINISH PLAN
A101 1/4" = 1'-0"



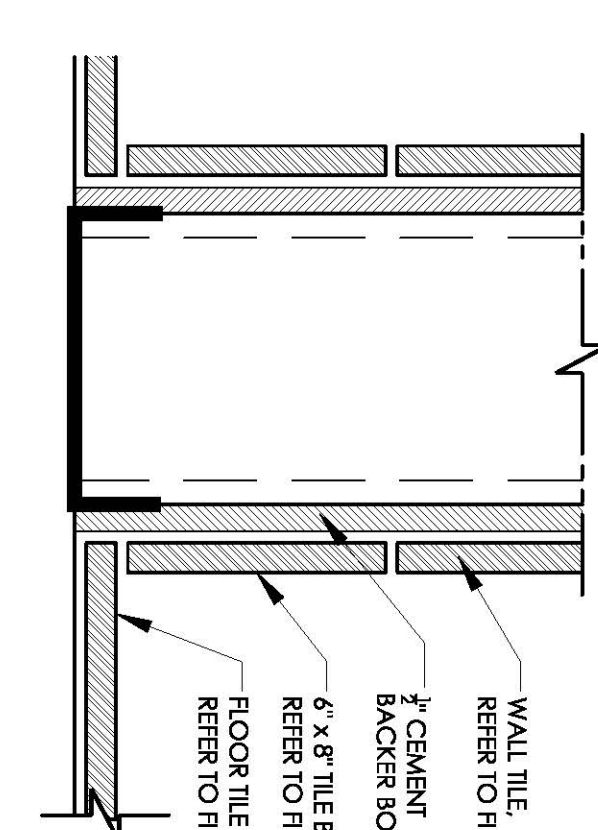
2 KITCHEN BASE DETAIL
A101 3" = 1'-0"



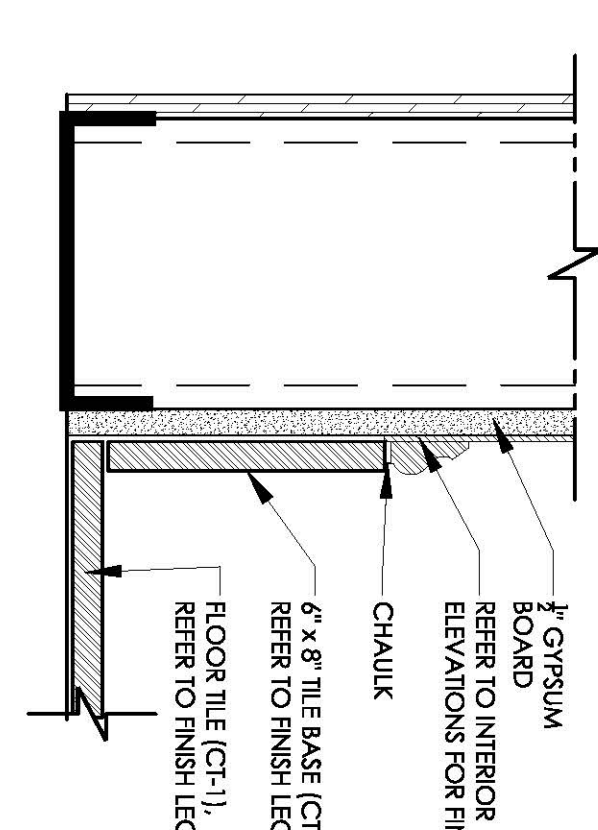
3 RUBBER COMP. FLOOR @ DRAIN DETAIL
A101 6" = 1'-0"



4 COOLER WALL/FLOOR DETAIL
A101 3" = 1'-0"



5 RESTROOM TILE BASE DETAIL
A101 3" = 1'-0"



6 DINING ROOM TILE BASE DETAIL
A101 3" = 1'-0"